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Planning Commission Study Session

TO: PLANNING COMMISSION/DESIGN REVIEW BOARD

FROM: KEITH NEWMAN, PLANNER II *KN*
(480) 503-6812, KEITH.NEWMAN@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *AM*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: DECEMBER 2, 2020

SUBJECT: DR20-96, 3XB LLC

STRATEGIC INITIATIVE: Exceptional Built Environment

Encourage the protection and expansion of land designated in the General Plan for Employment uses.

REQUEST

DR20-96, 3XB LLC: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately .90 acres, generally located south of the southwest corner of Merrill Ave. and Marvin Ct., and zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT

Company: Associated Architects
Name: Brian Johns
Address: 1356 E. McKellips Rd. Ste 101
Mesa, AZ 85203
Phone: 480-964-8451
Email: brian@associated-architects.com

OWNER

Name: 3XB LLC
Address: 1122 E. Eli Court Ste. 101
Gilbert, AZ 85296
480-861-4857

BACKGROUND/DISCUSSION

History

Date	Description
<i>July 8, 2003</i>	Town Council approved Z03-7, rezoning 9.73 acres from (AG) Agricultural to (C-2) General Commercial and 38.41 acres from (AG) Agricultural to (I-1) Garden Industrial for property located west of Cooper Road and south of Baseline Road.
<i>September 7, 2004</i>	Town Council approved Z04-20 (Ordinance No. 1593) to rezone approximately 37.32 acres from (I-1) Garden Industrial to (I-1) Garden Industrial with a Planned Area Development (PAD) overlay for property located approximately 700 feet west of the Cooper Road and Merrill Avenue intersection.
<i>August 29, 2006</i>	The approved Final Plat for the Fuller Commercial Center II was recorded with the Maricopa County Recorder's Office

Overview

Proposed is a 5,663 square foot warehouse/office located within the Fuller Commercial Center II subdivision. Lot 24 is vacant and contains 0.90 gross acres. The parcel is zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay. The site is located at the end of the cul-de-sac, thereby creating an irregular shaped, five-sided lot. The applicant has requested a variance for a reduction of the side yard setback along the residential zoned property along the southern boundary to 48'-8" from 75'; and a reduction in perimeter landscaping area along the southern boundary from 25' to 8'-9". On December 9, 2020, the Zoning Hearing Officer will consider the request.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Industrial (I)	Light Industrial (LI)	Vacant land
South	Residential > 5 – 8 DU/Acre	Single Family-Detached (SF-D)	SRP canal - 38' wide, then single family homes
East	Industrial (I)	Light Industrial (LI)	Fat Fender Garage
West	Industrial (I)	Light Industrial (LI)	Capital Weld Cleaners
Site	Industrial (I)	Light Industrial (LI)	Vacant

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Maximum Height (ft.)/Stories	55'/3	28'-2"
Minimum Building Setbacks (ft.)		
Front (Collector or Local)	25'	25'
Side ((Employment)	0'	0'
Side (Residential)	75'	48'-8" per requested Variance

Rear (Employment)	0'	0'
Minimum Perimeter Landscape Area (ft.)		
Front (Collector or Local)	20'	20'
Side (Employment)	0'	0'
Side (Residential)	25'	8'-9" per requested Variance
Rear (Employment)	0'	0'
Landscaping (% of lot area)	—	10%
Parking Spaces	17	29

DISCUSSION

Staff has recently issued 2nd review comments to the applicant for the project and is supportive of the overall development and is requesting a Study Session as the applicant desires to proceed with CD's at risk prior to final DR approval.

Site Plan:

The proposal consists of a new office/warehouse industrial building with approx. 5,663 total square feet (3,126 sq. ft. of office space and 2,537 sq. ft. of warehouse space), generally located south of the southwest corner of Merrill Ave. and Marvin Ct.

The overall site is currently vacant land and consists of one (1) lot that totals .90 acres. Access to the site is provided via a singular point of access off Marvin Ct. The building is centered on the site in order to provide adequate truck and vehicular circulation and parking along the south and eastern boundaries. All yard space around the building will be surfaced with concrete or asphalt and utilized to store company equipment and vehicles. The storage yard will be entirely screened from view by an 8' high CMU screen wall.

Based on the parking ratios of office/warehouse, 17 parking spaces are required, and 29 spaces are provided. Four (4) Bicycle parking will be provided on the north side of the building near the main entrance. A 19'-9" tall parking canopy will also be provided along the north property line and will be painted to match the building.

Landscape:

The landscape plan proposes a varied plant palette of trees and shrubs. The types of trees include: Mulga Acacia, Desert Museum Palo Verde and Thornless Mesquite. Some of the shrub and accent plants include: Valentine Bush, Rio Bravo Texas Ranger, Petite Pink Oleander, Regal Mist Dear Grass, Baja Ruellia, Morning Glory, New Gold Lantana, Red Yucca, Desert Spoon and Dwarf Rosemary. All landscape materials will be evenly distributed on both sides of the site entrance and along the eastern and southern perimeter boundaries, within the parking areas and around the foundation of the building visible by the public. Within the enclosed yard area perimeter landscaping is only proposed or required along the southern boundary adjacent to residential zoning.

Grading and Drainage:

Runoff as required by the Town shall be routed to common retention basins located throughout the subdivision. No on-site retention is required. Town Engineering Staff is in the process of analyzing all proposed site grading and drainage.

Elevations, Floor Plan, Colors and Materials:

The proposed building will be 28'-2" tall and constructed of a pre-manufactured steel structure with metal wall panels and metal roof panels. It is proposed to include a 2-story office area as well as warehousing space. The building entrance features a standing seam metal covered patio with wood post supports. The north, south and east elevations include windows with painted shutters on the first and second stories to break up the building massing and add visual interest. Two overhead garage doors are located on the north side of the building and one along the west. The proposed color palette consists of mainly white for the main body and dark gray for the roofing.

Lighting:

Lighting consists of parking lot and attached building wall mounted sconces. All site lighting will be required to comply with Town codes.

Signage:

A monument sign is proposed at the main site entrance and is required to be designed to complement the materials and colors of the buildings and site walls; no other signage is included in this application. Staff has reviewed the location of the proposed monument sign; however, the proposed design has not been provided to Staff and Administrative Design Review will be required prior to permitting if not reviewed prior to final approval.

PUBLIC NOTIFICATION AND INPUT

The proposed project will require a public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

REQUESTED INPUT

1. General input as the applicant has requested construction documents at-risk.

Respectfully submitted,



Keith Newman,
Planner II

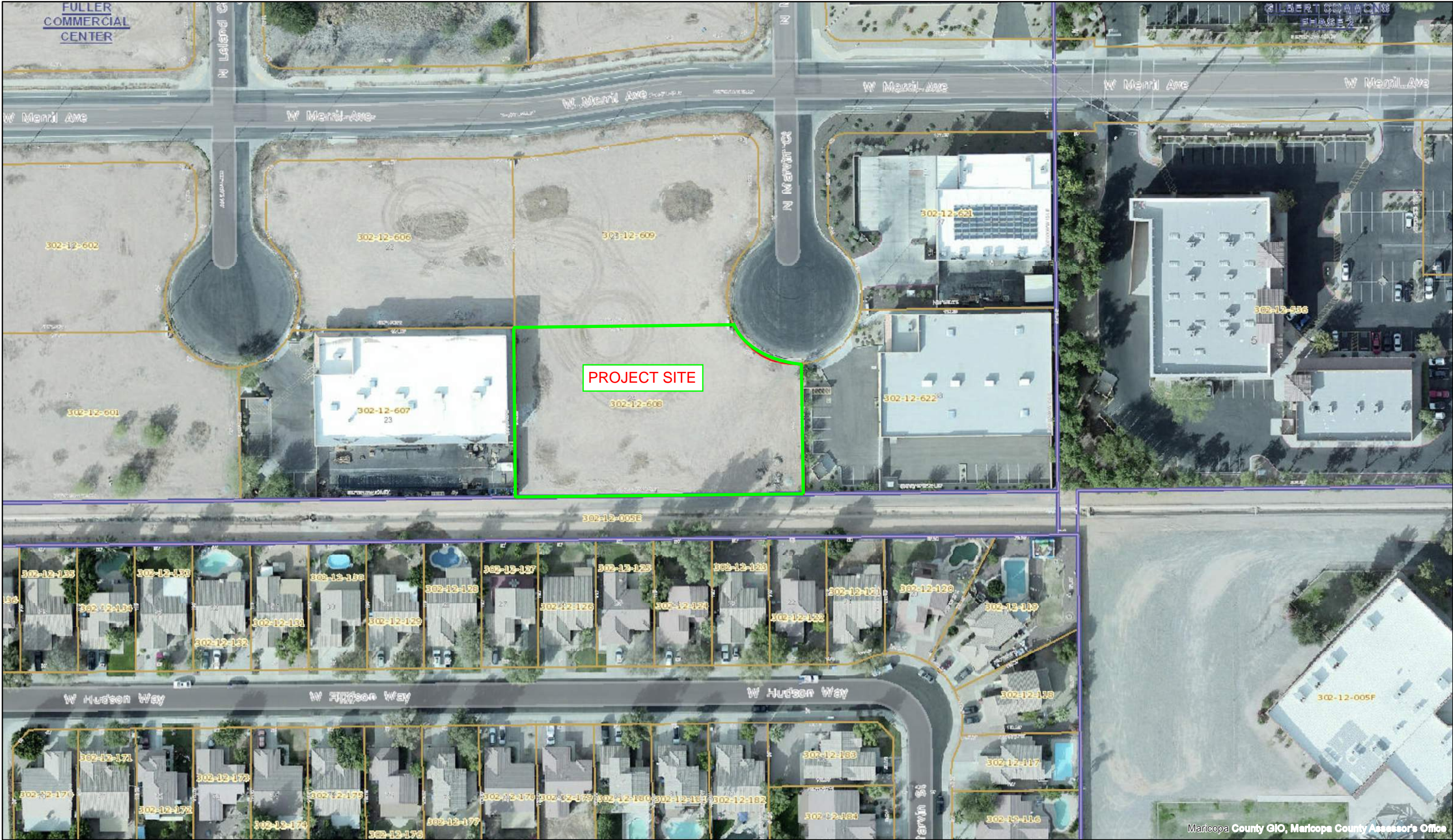
Attachments and Enclosures:

- 1) Aerial Photo
- 2) Site Plan
- 3) Landscape Plan

- 4) Grading, Drainage and Utility Plans
- 5) Elevations, Colors and Materials
- 6) Floor Plans
- 7) Lighting Photometric Plan
- 8) Applicants Narrative



Map



PROJECT INFORMATION

ADDRESS:----- 1312 NORTH MARVIN COURT
GILBERT, ARIZONA 85233

APN:----- 302-12-608

OWNER:----- 3XB, L.L.C.
(480) 861-4857

ARCHITECT:----- BRIAN T. JOHNS
ASSOCIATED ARCHITECTS, INC.
1356 E. McKELLIPS ROAD, STE. 101
MESA, ARIZONA 85203
(480) 964-8451

BUILDING CODES: 2018 I.B.C. 2018 I.P.M.C.
2018 I.R.C. 2018 I.M.C.
2018 I.P.C. 2017 N.E.C.
2018 I.E.C.C. 2018 I.F.C.
2018 I.F.G.C. 2010 ADA STANDARDS

OCCUPANCY GROUPS:-- F-1, B (NON SEPARATED USE)

CONSTRUCTION TYPE:-- V-B A.F.E.S.

BUILDING AREA: (4,100 SQ. FT. FOOTPRINT)
WAREHOUSE:----- 2,537 SQ. FT.
OFFICE FIRST FLOOR:----- 1,563 SQ. FT.
OFFICE SECOND FLOOR:----- 1,563 SQ. FT.
TOTAL: 5,663 SQ. FT.

USE:----- STORAGE YARD

EXISTING ZONING:----- LI

GROSS SITE AREA:----- 39,416 SQ. FT. = .90 ACRES

NET SITE AREA:----- 35,076 SQ. FT. = .80 ACRES

SITE COVERAGE:----- 31,297 SQ. FT.

LANDSCAPE AREA:----- 3,485 SQ. FT.

LANDSCAPE COVERAGE: 9.9%

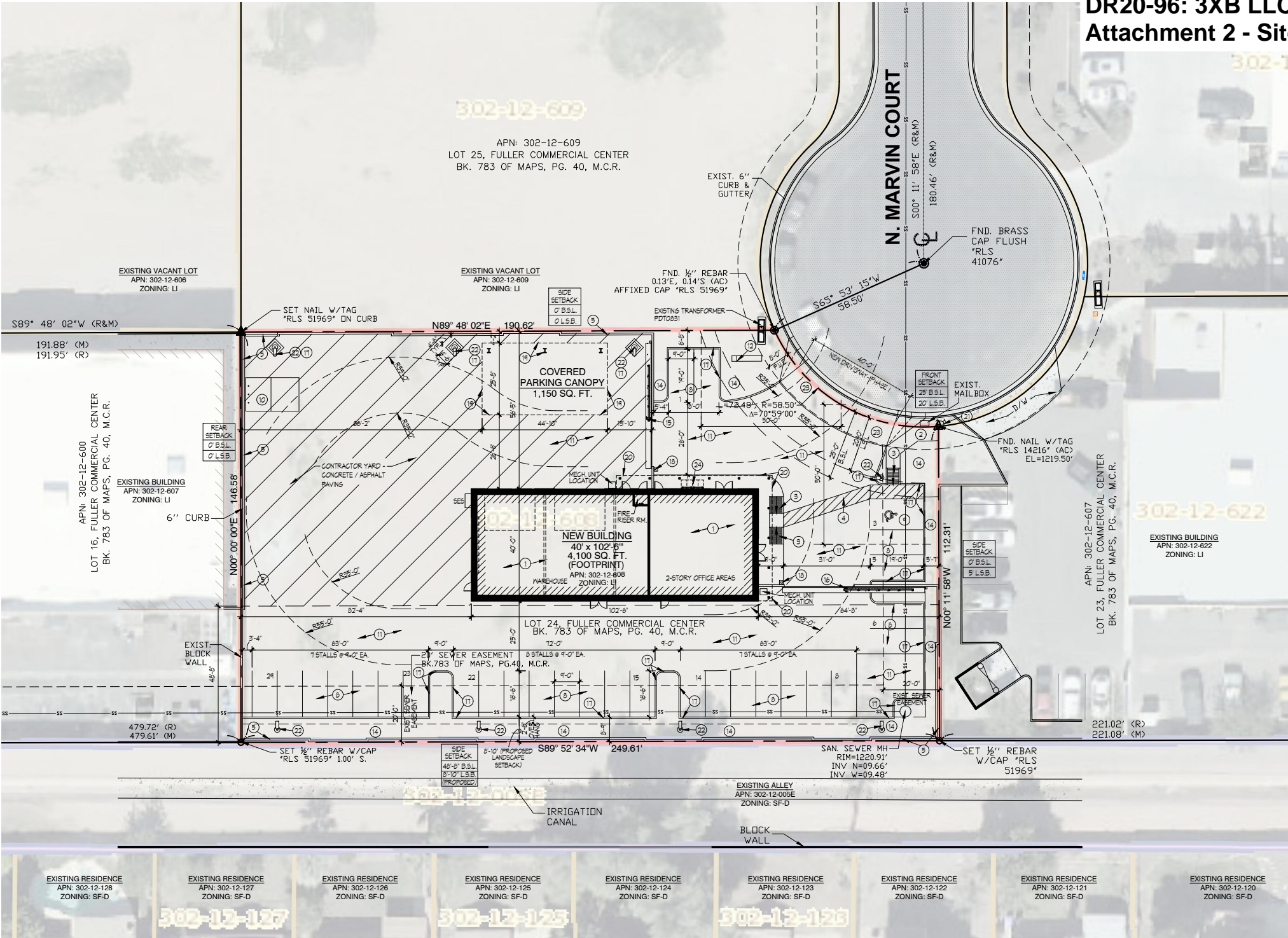
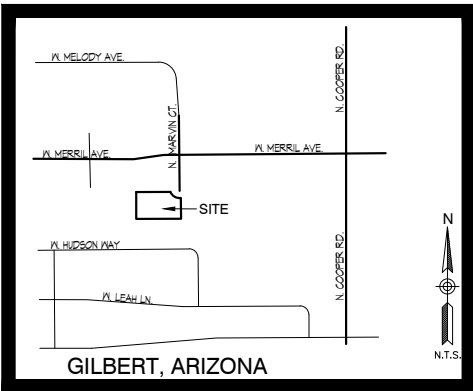
PARKING CALCULATIONS:

OFFICE:
1 STALL PER 250 S.F.
FIRST FLOOR: 1,563 SQ. FT. / 250 = 7 STALLS
SECOND FLOOR: 1,563 SQ. FT. / 250 = 7 STALLS

WAREHOUSE:
1 STALL PER 1,000 S.F.
2,537 SQ. FT. / 1,000 = 3 STALLS
TOTAL = 17 STALLS
17 STALLS - REQUIRED
29 STALLS - PROVIDED / 1 H/C STALL - PROVIDED

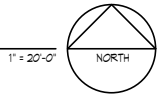
BICYCLE PARKING:
1:10 VEHICLE PARKING SPACES
31 SPACES / 10 = 3.1 SPACES REQUIRED
4 SPACES PROVIDED

LOCATION MAP



SITE PLAN

0 5 15 30



- SITE PLAN KEYNOTES:**
- 1 NEW 4,100 SQ. FT. BUILDING.
 - 2 CONCRETE SIDEWALK.
 - 3 CONCRETE H/C RAMP.
 - 4 ACCESSIBLE ROUTE.
 - 5 5'-0" HIGH CMU SCREEN WALLS - PHASE I
 - 6 RETENTION AREA.
 - 7 CONCRETE APRON.
 - 8 PARKING STALLS.
 - 9 H/C PARKING STALL.
 - 10 CONC. PAD & CONC. APRON FOR DUMPSTER PER TOS STANDARDS.
 - 11 ASPHALT OR CONCRETE PAVING.
 - 12 SIGNAGE UNDER SEPARATE PERMIT.
 - 13 CONCRETE H/C RAMP.
 - 14 LANDSCAPE AREA.
 - 15 20'-0" ROLLING GATE.
 - 16 25'-0" ROLLING GATE.
 - 17 6" CONC. CURB.
 - 18 KNOX BOX.
 - 19 COVERED PARKING CANOPY.
 - 20 COVERED CANOPY.
 - 21 EXIST. FIRE HYDRANT.
 - 22 NEW LIGHT POLE - SEE ELECT.
 - 23 NEW CONC. DRIVEWAY PER DETAIL TOS 6L-210.
 - 24 4 BICYCLE PARKING SPACES.

DR20-96: 3XB LLC
Attachment 2 - Site Plan

A NEW DEVELOPMENT
FOR

3XB, L.L.C.

1312 N. MARVIN COURT GILBERT, ARIZONA 85233

associatedarchitects, inc.
architecture · construction management · planning

p 480-964-8451
www.associated-architects.com
1356 East McKellips Road, Suite 101 · Mesa · Arizona · 85203

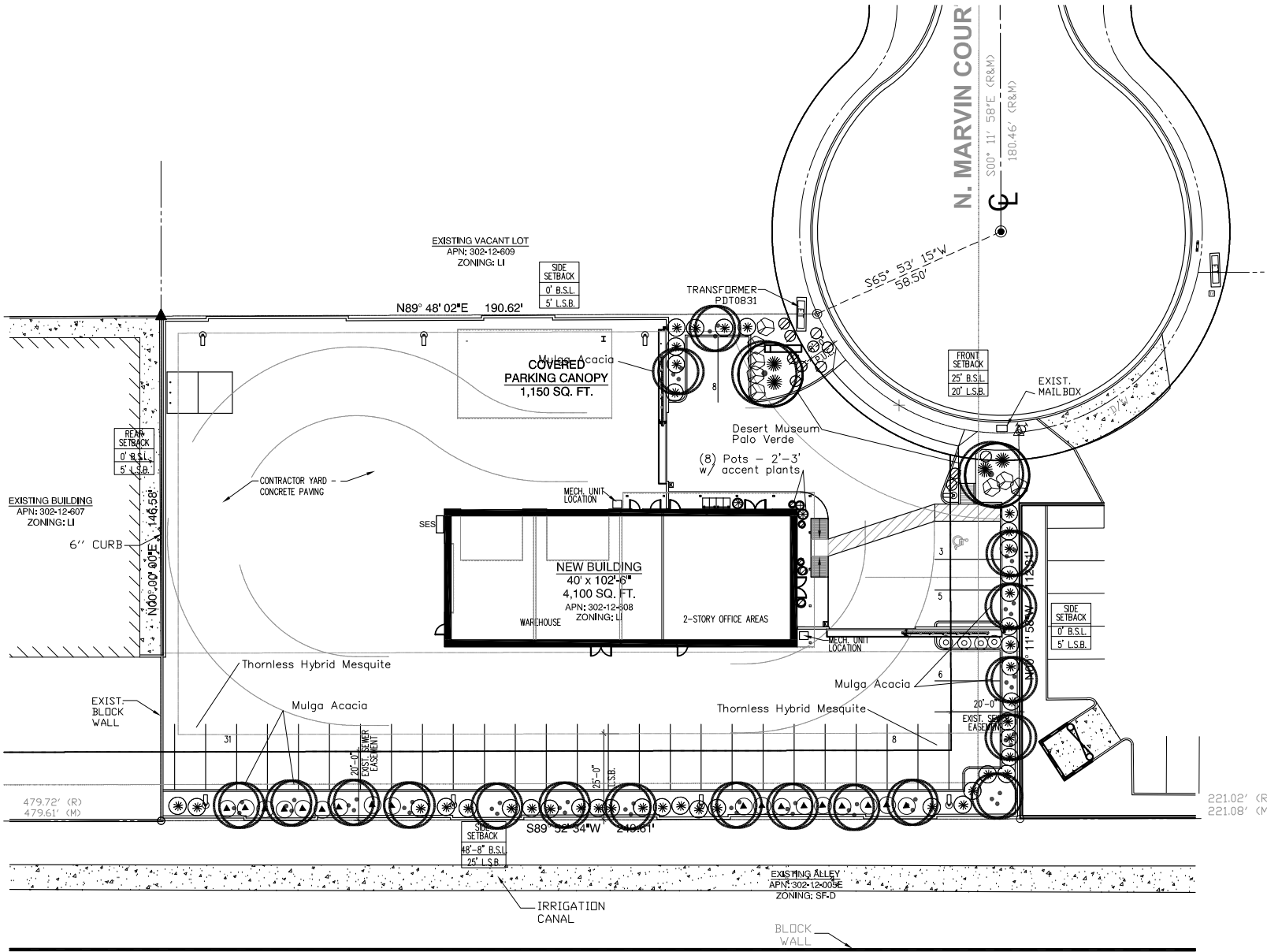
DATE	DESCRIPTION
1	1
2	2
3	3
4	4



SHEET 1

A-1

OF



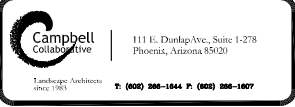
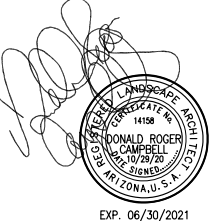
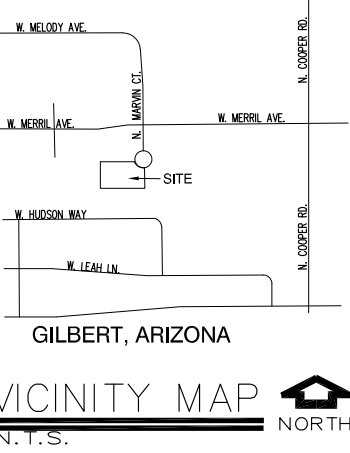
PRELIMINARY LANDSCAPE PLAN
SCALE 1"=20'-0"

KEY	SYMBOL	BOTANICAL/COMMON NAME	SIZE (Height, Canopy, & Caliper)
TREES			
①		Acacia aneura Mulga Acacia	24" Box 7' 4' 1.5" Double-Staked Typ.
②		Parkinsonia 'Desert Museum' Desert Museum Palo Verde	24" Box 7.5' 4' 1.5" 36" Box 10' 8' 2.5" Double-Staked Typ.
③		Prosopis hybrid 'Phoenix' Thornless Hybrid Mesquite	24" Box 8' 4' 1.5" Double-Staked Typ.
LARGE SHRUBS			
④		Eremophila 'Valentine' Valentine Bush	5 Gallon
⑤		Leucophyllum langmaniae Rio Bravo Texas Ranger	5 Gallon
⑥		Nerium o. 'Petite Pink' Petite Pink Oleander	5 Gallon
MEDIUM AND SMALL SHRUBS			
⑦		Muhlenbergia capillaris "Regal Mist" Regal Mist Deer Grass	5 Gallon
⑧		Ruellia peninsularis Baja Ruellia	5 Gallon
GROUNDCOVERS			
⑨		Convolvulus cneorum Bush Morning Glory	1 Gallon
⑩		Lantana m. 'New Gold' New Gold Lantana	1 Gallon
ACCENTS			
⑪		Hesperaloe parviflora Red Yucca	5 Gallon
⑫		Dasylirion wheeleri Desert Spoon	5 Gallon
⑬		Rosmarinus officinalis 'Prostratus' Dwarf Rosemary	5 Gallon
LANDSCAPE MATERIALS			
⑭		Decomposed Granite Desert Gold	1/2" size screened Down

PLANT CALCULATIONS

STREET RIGHT-OF-WAY LANDSCAPING:			
Linear Feet of Frontage- 40'			
Trees required- 2	Trees provided- 2		
Shrubs required- 10	Shrubs provided- 12		
EAST AND SOUTH PROPERTY LINE LANDSCAPING:			
Linear Feet of Adjacent Property Line- 405'			
Trees required- 20	Trees provided- 21		
(1 Tree per 20 Linear ft.)			

TOWN OF GILBERT AMOUNT OF LANDSCAPING	
Gross Acres	0.90 AC (39,146 S.F.)
Net Acres	0.80 AC (35,076 S.F.)
Landscape On-Site	3,735 S.F.
Landscape Off-Site	0 S.F.
Total Landscape	3,735 S.F.
Total Landscape Coverage	11% Landscape Coverage



A PRELIMINARY SITE PLAN
FOR
3XB, L.L.C.
1312 N. MARVIN COURT GILBERT, ARIZONA 85233

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p 480-964-8451
www.associated-architects.com
1356 East McKellips Road, Suite 101 · Mesa · Arizona · 85203

DATE	10/29/20
DESIGNED BY	1
DRAWN BY	2
CHECKED BY	3
APPROVED BY	4

PROPOSED SITE PLAN

NOT FOR CONSTRUCTION

EXP. 06/30/2021

SHEET 1
L-1
OF

ASSOCIATED ARCHITECTS INC
1356 EAST MCKELLIPS ED, SUITE 101
MESA, AZ. 85203
TEL: (480) 964-8451
CONTACT: BRIAN JOHNS

BABBITT NELSON ENGINEERING LLC
1152 EAST GREENWAY STREET, SUITE 2
MESA, ARIZONA 85203
TEL: (480) 610-1341
FAX: (480) 962-9034
CONTACT: DARREN SMITH
EMAIL: darren@babbittnelson.com

N.G.S. CONTROL POINT "2BL1"
ELEVATION=1277.60' (NAVD88)

THE MONUMENT LINE OF MARVIN COURT AS SHOWN ON THE FINAL "FULLER COMMERCIAL CENTER" RECORDED IN BOOK 783 OF MAPS PAGE 40, M.C.R.

BEARING=S00°11'58"E

CIVIL PLANS

- 2.....PRELIMINARY GRADING PLAN

ZONING:

CURRENT ZONING: LI

PROJECT DATA:

GROSS AREA: 0.85 AC = 37,200 SF
NET AREA: 0.81 AC = 35,081 SF

LEGAL DESCRIPTION

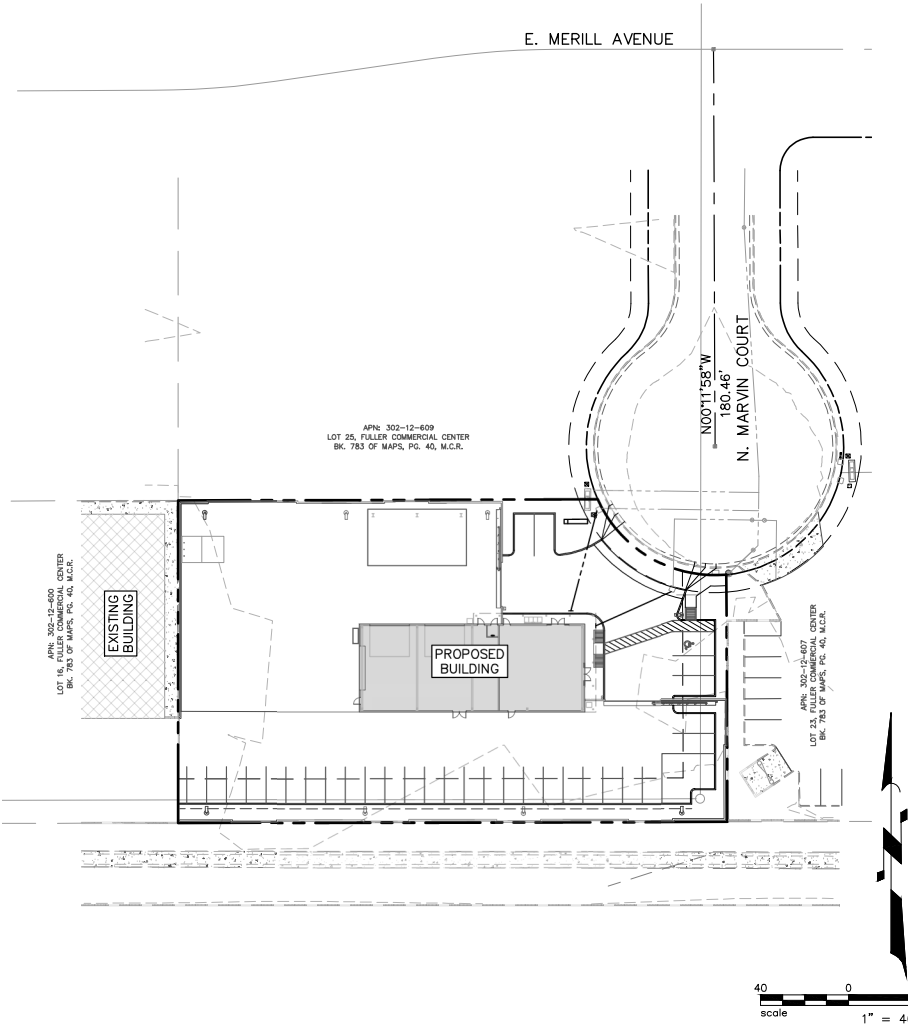
LOT 24, FULLER COMMERCIAL CENTER
ACCORDING TO BOOK 783 OF MAPS,
PAGE 40, RECORD OF MARICOPA
COUNTY, ARIZONA.

ENGINEER'S NOTE:

THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES UPON HIMSELF THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THERE OF.

APN# 302-12-608
1312 N. MARVIN CT. GILBERT, ARIZONA 85233

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT MAG SPECIFICATIONS AND DETAILS, WITH THE TOWN OF GILBERT ADDITIONS AND DELETIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE TOWN ENGINEER SHALL BE NOTIFIED TWENTY-FOUR (24) HOURS PRIOR TO STARTING THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.
3. ACCEPTANCE OF THE COMPLETED RIGHT-OF-WAY IMPROVEMENTS WILL NOT BE GIVEN UNTIL FOUR (4) MIL POLYESTER MYLAR REPRODUCIBLE "AS-BUILT" PLANS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER.
4. LOCATION OF ALL WATER VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE WATER DISTRIBUTION DIVISION.
5. NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UNDERGROUND UTILITIES WITHIN THE ROADWAY PRISM ARE COMPLETED.
6. WORK PERFORMED WITHOUT APPROVAL OF THE TOWN ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. THE MAXIMUM STAKE INTERVAL FOR GRADES OF TWO TENTHS OF ONE PERCENT OR LESS SHALL BE TWELVE AND ONE-HALF (12.5) FEET FOR CONCRETE WORK AND TWENTY-FIVE (25) FEET FOR ASPHALT/ROADWAY MATERIALS. ALL TIE POINTS AND RETURNS SHALL BE STAKED FOR THE P.C., P.T. AND THE MIDPOINT OF RETURN.
8. BASE COURSE WILL NOT BE PLACED ON SUBGRADE UNTIL BASE REQUIREMENTS HAVE BEEN COMPLETED AND ACCEPTED BY THE TOWN ENGINEER.
9. GUTTERS WILL BE WATER TESTED IN THE PRESENCE OF THE TOWN ENGINEER OR HIS AUTHORIZED REPRESENTATIVE TO INSURE PROPER DRAINAGE. PRIOR TO FINAL APPROVAL BY THE TOWN ENGINEER.
10. EXISTING CURB MATCHING, TERMINATION TO OVERLAY, IF NECESSARY, MAY BE DETERMINED IN THE FIELD BY THE TOWN ENGINEER.
11. NO JOB WILL BE CONSIDERED COMPLETED UNTIL ALL CURBS, PAVEMENT AND SIDEWALKS HAVE BEEN SWEEPED CLEAN OF ALL DIRT AND DEBRIS AND ALL SURVEY MONUMENTS ARE INSTALLED, PUNCHED AND DATED ACCORDING TO THE PLANS.
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL VALVES, MANHOLES AND BLOW OFFS IN ADVANCE OF CONSTRUCTION AND REPLACING SAME TO FINISHED GRADE.
13. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGE TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE TOWN WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
14. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH MAG SPECIFICATION 101, AND THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL TRAFFIC CONTROLS, INCLUDING STRIPING AND REQUIRED SIGNAGE, SHALL BE INSTALLED WITHIN ONE WEEK OF THE INSTALLATION OF THE 'FIRST LIFT' OF PAVING.
15. TESTING
A. TESTING OF MATERIALS AND CONSTRUCTION PERFORMANCE BY AN APPROVED TESTING LAB IS REQUIRED.
B. THE TOWN INSPECTOR WILL DETERMINE THE NUMBER AND TYPE OF TESTS THAT ARE NEEDED.
16. THE CONTRACTOR/DEVELOPER WILL NOTIFY THE TESTING LAB OF THE NEEDED TESTS, COORDINATE WITH THE INSPECTOR AND TESTING LAB, AND PAY THE COSTS TO PERFORM THE TESTS.
17. ORDINANCE #1437, APPROVED BY THE TOWN COUNCIL IN OCTOBER 2002, STATES: NO CONSTRUCTION WATER FROM FIRE HYDRANTS SHALL BE USED ON PARCEL OR LOTS OF TEN ACRES OR MORE IN SIZE. FOR MORE INFORMATION, THE ORDINANCE IS LOCATED ON THE TOWN OF GILBERT WEBSITE AT: WWW.GILBERT.AZ.US. TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR IS REQUIRED TO MAKE APPLICATION WITH THE PUBLIC WORKS WATER DIVISION. A SECURITY DEPOSIT IS REQUIRED TO RECEIVE A FIRE HYDRANT METER. THE TOWN RESERVES THE RIGHT TO SPECIFY THE TIME AND LOCATION THAT CONSTRUCTION WATER CAN BE DELIVERED.
18. ALL SOIL RETENTION BASIN DEVELOPMENT AND INSTALLATIONS MUST BE COMPLETED AND ACCEPTED BEFORE THE PAVING PERMIT WILL BE ISSUED FOR THE SUBDIVISION.
19. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK, THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED DURING THE COURSE OF THEIR CONSTRUCTION.
20. USE OF 'RECLAIMED ASPHALT' IS PROHIBITED UNLESS APPROVED BY THE TOWN ENGINEER.
21. GRINDING AND/OR PATCHING OF CURBS, GUTTERS, APRONS, VALLEY GUTTERS, DRIVEWAYS, COUPLERS, MANHOLE BASES AND INVERTS OR ANY CONCRETE STRUCTURE TO CORRECT DEFICIENCIES THAT RESULT FROM IMPROPER GRADE SETTING, OR CONSTRUCTION METHODS, OR BREAKAGE DUE TO ANY CIRCUMSTANCES SHALL NOT BE PERMITTED.
22. ALL METALLIC MATERIALS INLETS, GRATES, FRAMES AND COVERS, CATCH BASINS - NOSE ANGLE SHALL BE PAINTED PER MAG SPECIFICATION NO. 790, PAINT NO. 9 (LIGHT GRAY).
23. PARKWAY GRADING SHALL BE DESIGNED TO INSURE THAT RUNOFF CANNOT BE RETAINED BEHIND CURBS OR WALKS.
24. ALL PARKWAY GRADING MUST BE COMPLETED BEFORE ANY PAVING MAY BEGIN.
25. ALL SIGNS SHALL BE INSTALLED DETAIL 79.



1. ALL DESIGN AND CONSTRUCTION MUST BE IN ACCORDANCE WITH THE
UNIFORM STANDARD SPECIFICATIONS AND DETAILS PUBLISHED BY THE
MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE
TOWN OF GILBERT.

2. THE CONTRACTOR SHALL NOTIFY THE TOWN OF GILBERT ENGINEERING
DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF ANY CONSTRUCTION
FOR INSPECTION. CALL (480) 503-6847.

3. PLACEMENT OF DRIVEWAYS SHOULD NOT BE IN CONFLICT WITH UTILITY
SERVICES.

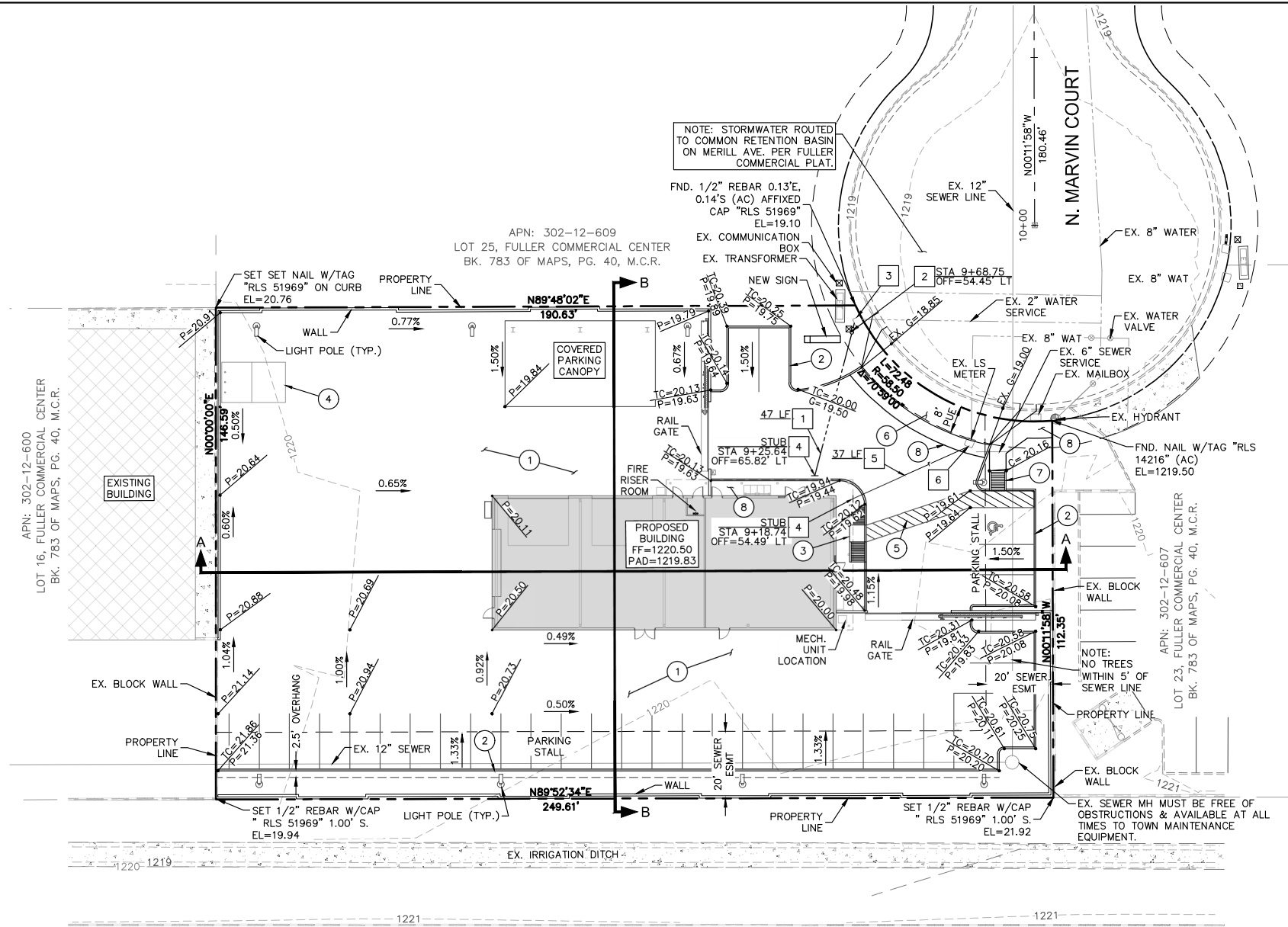
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE
RELATIONSHIP OF POWER POLES AND OTHER UTILITIES.

5. ENGINEER CERTIFIES THAT HE HAS CONTACTED ALL INTERESTED UTILITY
COMPANIES AND HAS TRANSFERRED ALL KNOWN EXISTING AND/OR
PROPOSED UTILITY LINES AND RELATED INFORMATION ONTO THESE
PLANS, AND THAT HE HAS ALSO CORRECTLY PLOTTED THE EXISTING
AND PROPOSED RIGHT-OF-WAY AND EASEMENT LINES.

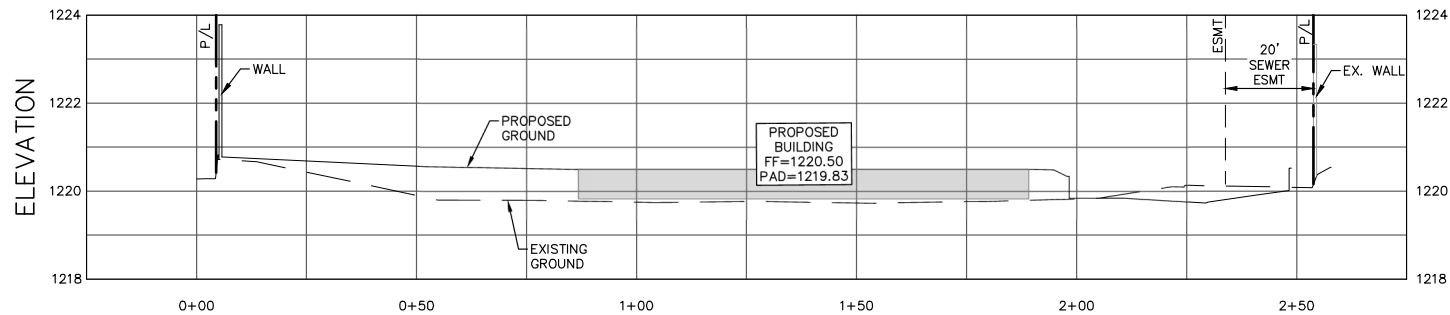
6. ALL IMPROVEMENTS WITHIN THE RETENTION BASIN AND/OR ROADWAY
PARKWAYS SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF
GILBERT PROCEDURES FOR DEVELOPERS AND ENGINEERS.

7. CONTRACTOR IS ADVISED THAT AN EXCAVATION AND DIRT MOVING PERMIT IS REQUIRED BY THE MARICOPA COUNTY HEALTH DEPARTMENT AND THE TOWN OF GILBERT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THIS PERMIT AND COMPLY WITH ITS REQUIREMENTS. DURING CONSTRUCTION OF THIS PROJECT THE CONTRACTOR WILL BE REQUIRED TO PERFORM DAILY CLEANUP AND MAINTENANCE OF THE ADJACENT (OFF-SITE) ROADWAYS USED DURING THE COURSE OF THIS CONSTRUCTION.
8. CALL THE BLUE STAKE CENTER (602)263-1100 48 HOURS BEFORE DIGGING FOR LOCATION OF UNDERGROUND UTILITIES. SRP IS NOT PART OF BLUESTAKE AND MUST ALSO BE CONTACTED.
9. THE CONTRACTOR SHALL BE REQUIRED TO INSTALL A NIGHT TIE-IN FOR ANY NEW WATER LINE THAT WILL AFFECT EXISTING SERVICE, SUFFICIENT TO WARRANT SAME IN THE OPINION OF THE TOWN OFF-SITE INSPECTOR.
10. BACKFILL AND COMPACTION WITHIN COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST MARICOPA COUNTY SPECIAL PROVISIONS FOR INSTALLATION OF UNDERGROUND UTILITIES.
11. CONTRACTOR SHALL COMPLY WITH THE PROVISION FOR TRAFFIC CONTROL AS PER THE 2003 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES HANDBOOK.

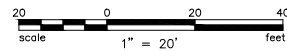
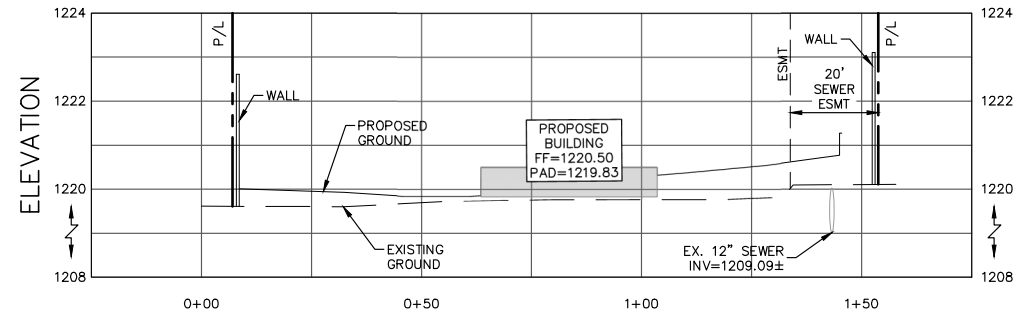
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SECTION A-A



SECTION B-B



LEGEND	
FF= 2292.17 PAD= 2291.50	FINISHED FLOOR ELEVATION PAD ELEVATION
-2292-	EXISTING CONTOUR ELEVATION
---	PROPERTY LINE
---	CENTERLINE
---	EASEMENT
---	PUE
---	RIGHT-OF-WAY
---	EXISTING LOT LINE
---	EXISTING CURB
---	PROPOSED CURB
---	EXISTING WALL
---	PROPOSED WALL
---	WATER LINE
---	EXISTING SEWER LINE
---	EXISTING SEWER MANHOLE
---	EXISTING WATER LINE
X.XX%	PROPOSED SLOPE
P=XXXX.XX	PAVEMENT ELEVATION
EX G=XXXX.XX	EXISTING GUTTER ELEVATION
C=XXXX.XX	CONCRETE ELEVATION
TC=XXXX.XX	TOP OF CURB ELEVATION
EL=XXXX.XX	ELEVATION
⊙	LIGHT POLE

WATER NOTES	
1	1 1/4" SCH 40 PVC DOMESTIC WATERLINE. 47 LF
MAINTAIN MINIMUM 36" COVER OVER WATER SERVICE LINES. MAG SEC. 610 & GIL-310	
2	2" REDUCED PRESSURE PRINCIPLE BFP ON THE PROPERTY PER GIL 350, MAX 2' FROM WATER METER 1 EA
3	CONNECT TO EXISTING 2" SERVICE 1 EA
4	TERMINATE PROPOSED WATERLINE 5' FROM BUILDING 2 EA
REFER TO PLUMBING PLANS FOR CONNECTION TO BUILDING	
5	6" DIP POLY WRAPPED FIRELINE (AWWA C-151) CLASS 350 37 LF
6	CONNECT TO EXISTING SERVICE 1 EA
PAVING NOTES	
1	PAVEMENT 6" PCCP ON 4" ABC, PER MAG SPEC. SEC. 301, 310, 324 2827 SY
2	6" SINGLE CURB, PER MAG 222, TYPE 'A' 474 LF
3	INSTALL IN-LINE RAMP PER COM DET M-44.05 1 EA
4	CONSTRUCT BIN ENCLOSURE PER STD DET GIL-180 1 EA
5	WALKWAY PER ARCHITECT 1 EA
6	COMMERCIAL DRIVEWAY PER GIL-210 1 EA
7	RAMP PER MAG STD DTL 235-5 1 EA
8	CONCRETE SIDEWALK PER MAG 230 718 SF

Babbitt Nelson Engineering
1140 E. Greenway St. Suite 2
Mesa, Arizona 85203
tel: (480) 610-1341

GRADING AND DRAINAGE PLAN

PROJECT:
1312 N. MARVIN CT.
3XB MARVIN COURT
GILBERT, ARIZONA

JOB NO.
20087

20087C2.DWG

SHEET NO.
2
2 OF 2

Architectural drawing of the North Elevation of a building. The drawing shows a two-story structure with a gabled roof, a covered front porch, and two large overhead doors. Callouts with numbers 1 through 5 identify specific materials and features. Dimensions for heights and widths are provided. The title "NORTH ELEVATION" is centered below the drawing.

Callouts:

- 1: METAL WALL PANELS - INTEGRAL COLOR BY MTL. BLD'G. MFR.
- 2: STANDING SEAM MTL. ROOF PANELS - INTEGRAL COLOR
- 3: 6X6 WOOD POSTS - PAINTED
- 4: COVERED PARKING CANOPY COLUMNS - TYP. OF 3 - PAINTED
- 5: ALUMINUM STOREFRONT

Dimensions:

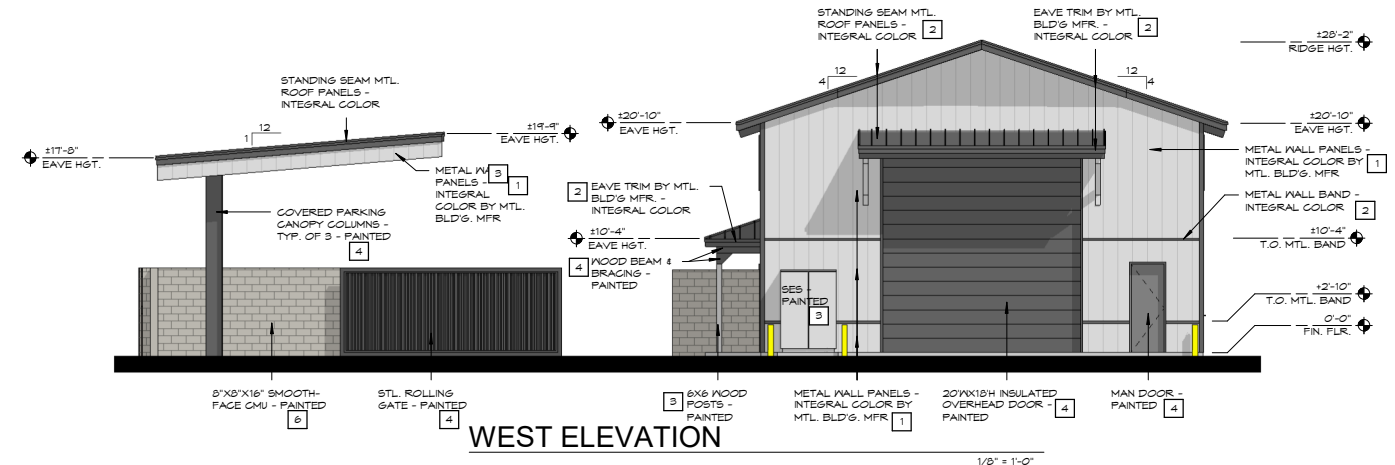
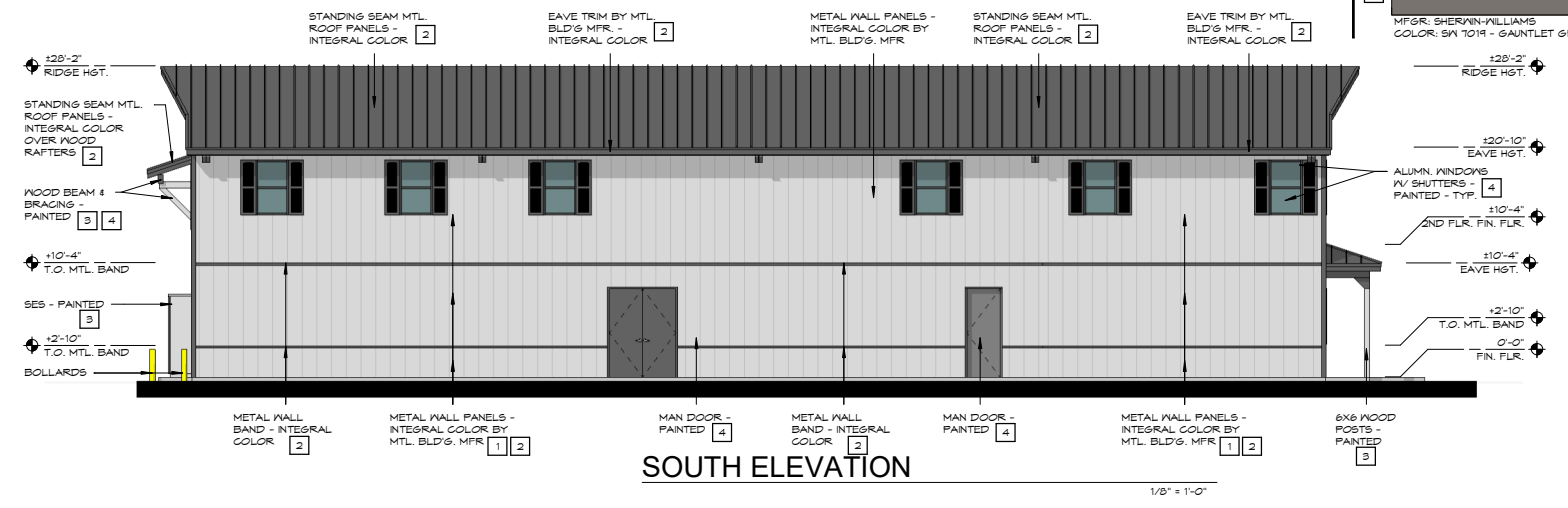
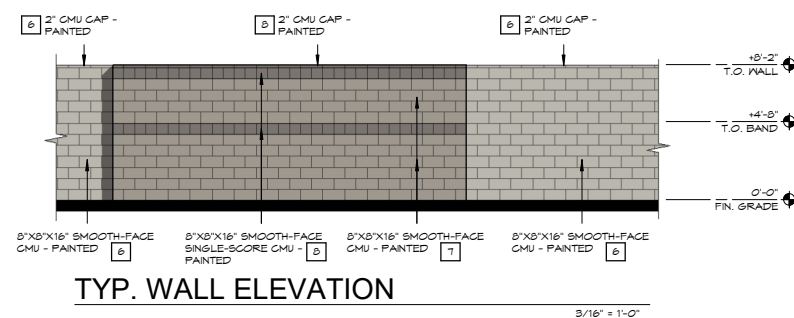
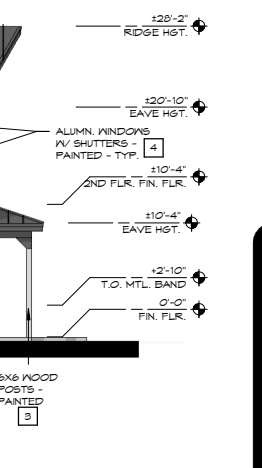
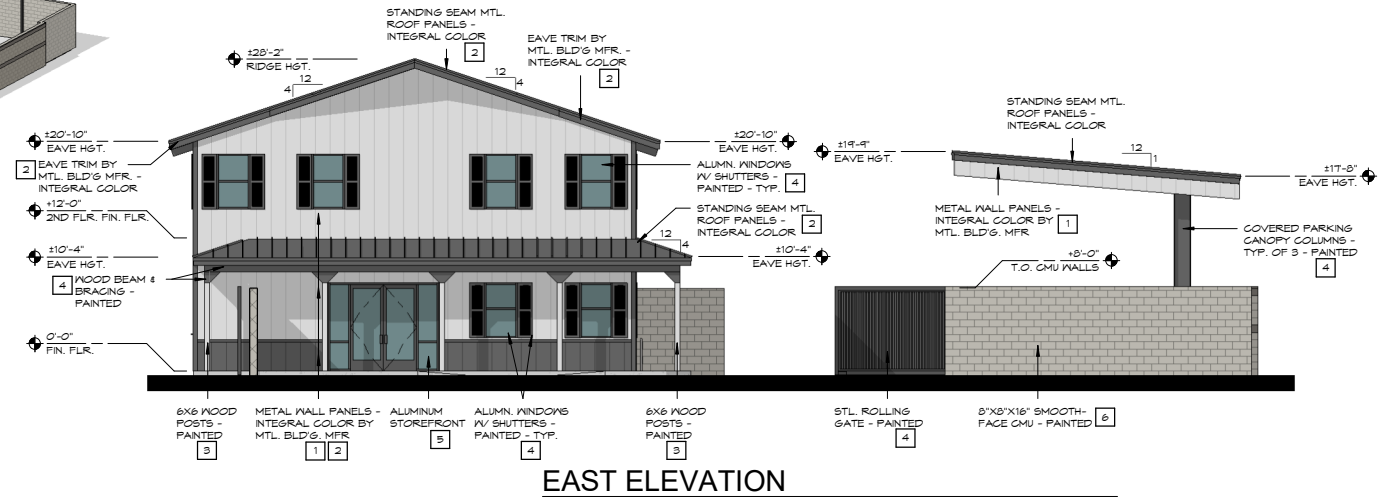
- 120'-2" RIDGE HGT.
- 120'-10" EAVE HGT.
- 120'-10" EAVE HGT.
- ±10'-8" EAVE HGT.
- ±10'-4" EAVE HGT.
- 12'-0" 2ND FLR. FIN. FLR.
- 11'-0"-4" EAVE HGT.
- 10'-4" T.O. MTL. BAND
- 2'-10" T.O. MANSROT
- 0'-0" FIN. FLR.
- SES - PAINTED
- BOLLARD

Materials and Features:

- EAVE TRIM BY MTL. BLD'G. MFR. - INTEGRAL COLOR
- METAL WALL PANELS - INTEGRAL COLOR BY MTL. BLD'G. MFR.
- STANDING SEAM MTL. ROOF PANELS - INTEGRAL COLOR
- EAVE TRIM BY MTL. BLD'G. MFR. - INTEGRAL COLOR
- METAL WALL PANELS - INTEGRAL COLOR BY MTL. BLD'G. MFR.
- 18'X16'H INSULATED OVERHEAD DOOR - PAINTED
- COVERED PARKING CANOPY COLUMNS - TYP. OF 3 - PAINTED
- 18'X16'H INSULATED OVERHEAD DOOR - PAINTED
- METAL WALL PANELS - INTEGRAL COLOR BY MTL. BLD'G. MFR.
- ALUMINUM STOREFRONT
- ALUM. WINDOWS W/ SHUTTERS - PAINTED - TYP.
- 6X6 WOOD POSTS - PAINTED
- MAN DOOR - PAINTED

North Elevation

1/8" = 1'-0"



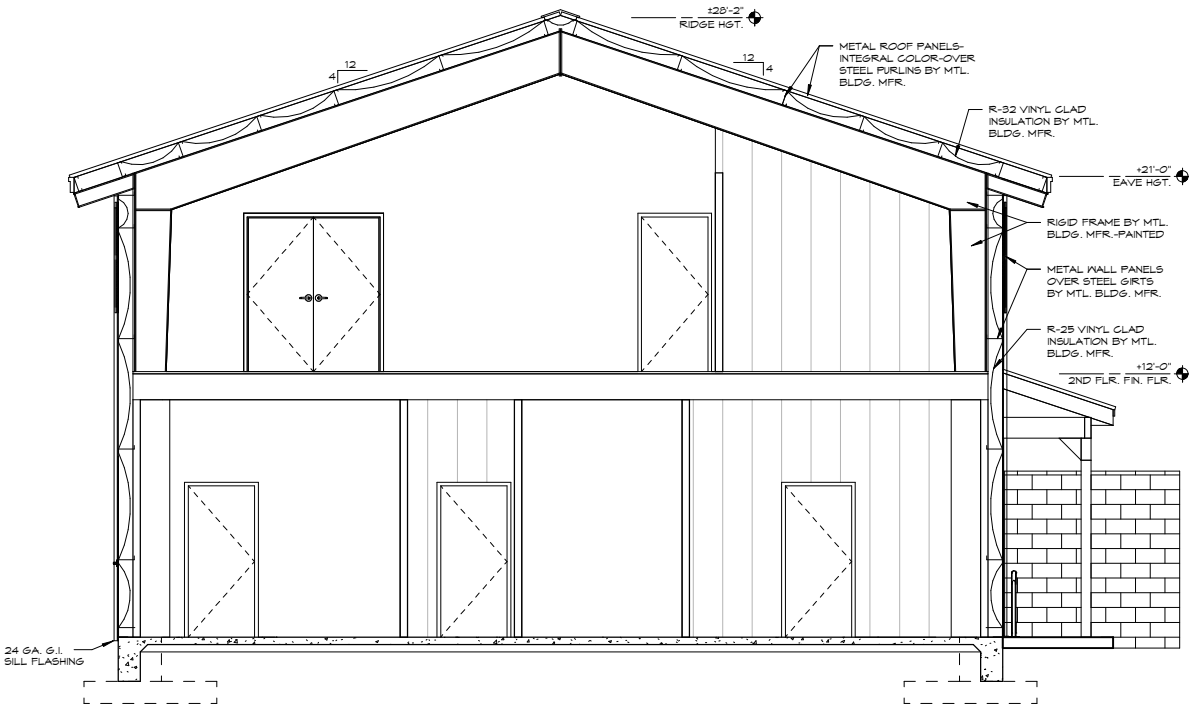
SHEET

A-3

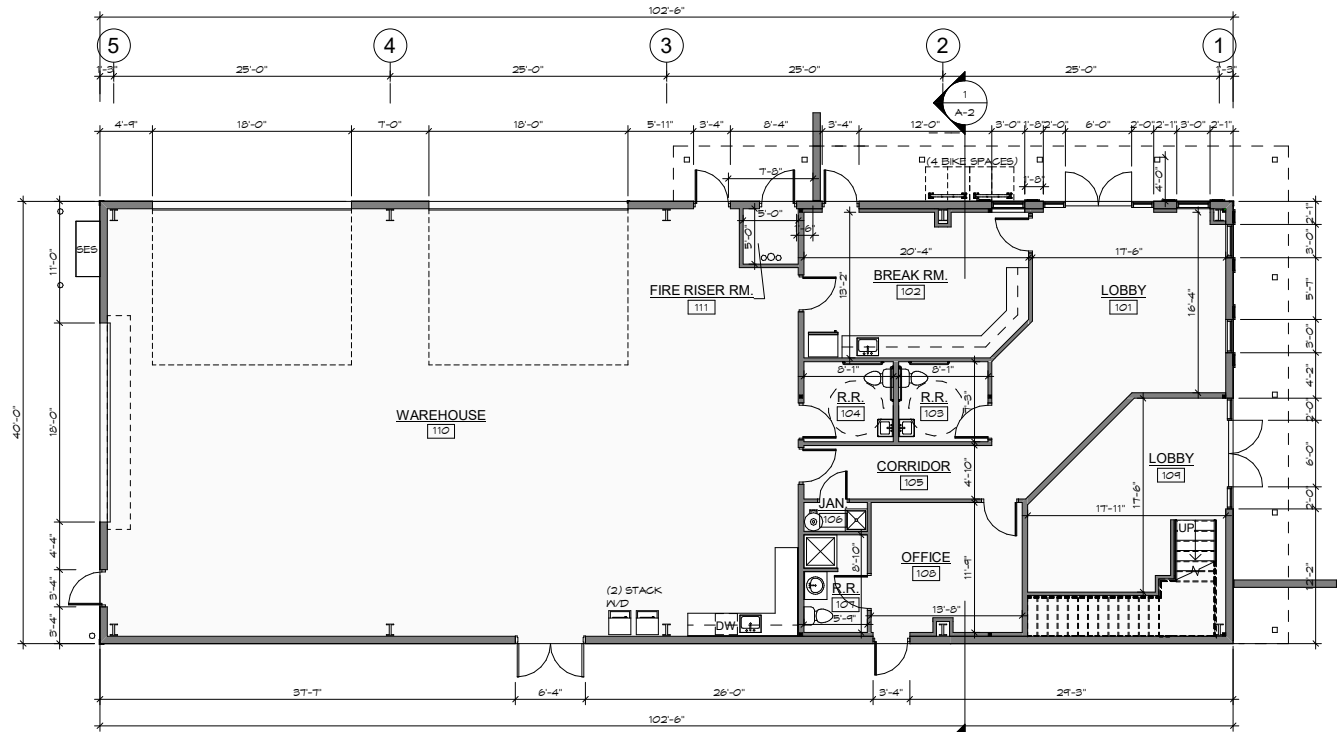
OF

3]

DR20-96: 3XB LLC
Attachment 6 - Floor Plans

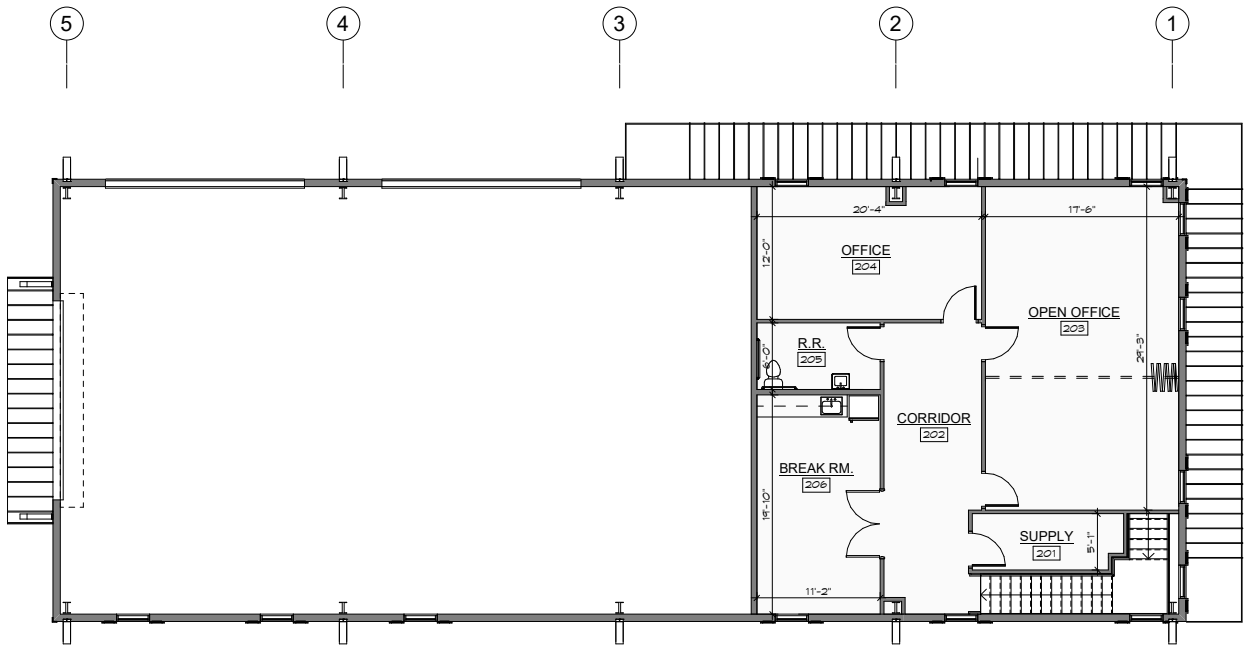


1
A-2
BUILDING SECTION
1/4" = 1'-0"



FLOOR PLAN
FIRST FLOOR

BUILDING AREA: (4,100 SQ. FT. FOOTPRINT)
WAREHOUSE: — — — — — 2,531 SQ. FT.
OFFICE (FIRST FLOOR): — — — 1,563 SQ. FT.
OFFICE (SECOND FLOOR): — — — 1,563 SQ. FT.
TOTAL: 5,663 SQ. FT.



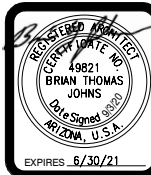
FLOOR PLAN
SECOND FLOOR

associatedarchitects, INC.
architecture · construction management · planning

p 480-964-8451
1356 East McKellips Road, Suite 101 · Mesa · Arizona · 85203



DATE	DESCRIPTION	REVISION
01	BTJ	01
CHECKED BY	BTJ	2004
JOB NO.	2004	01/23/20
PRINTED	01/23/20	



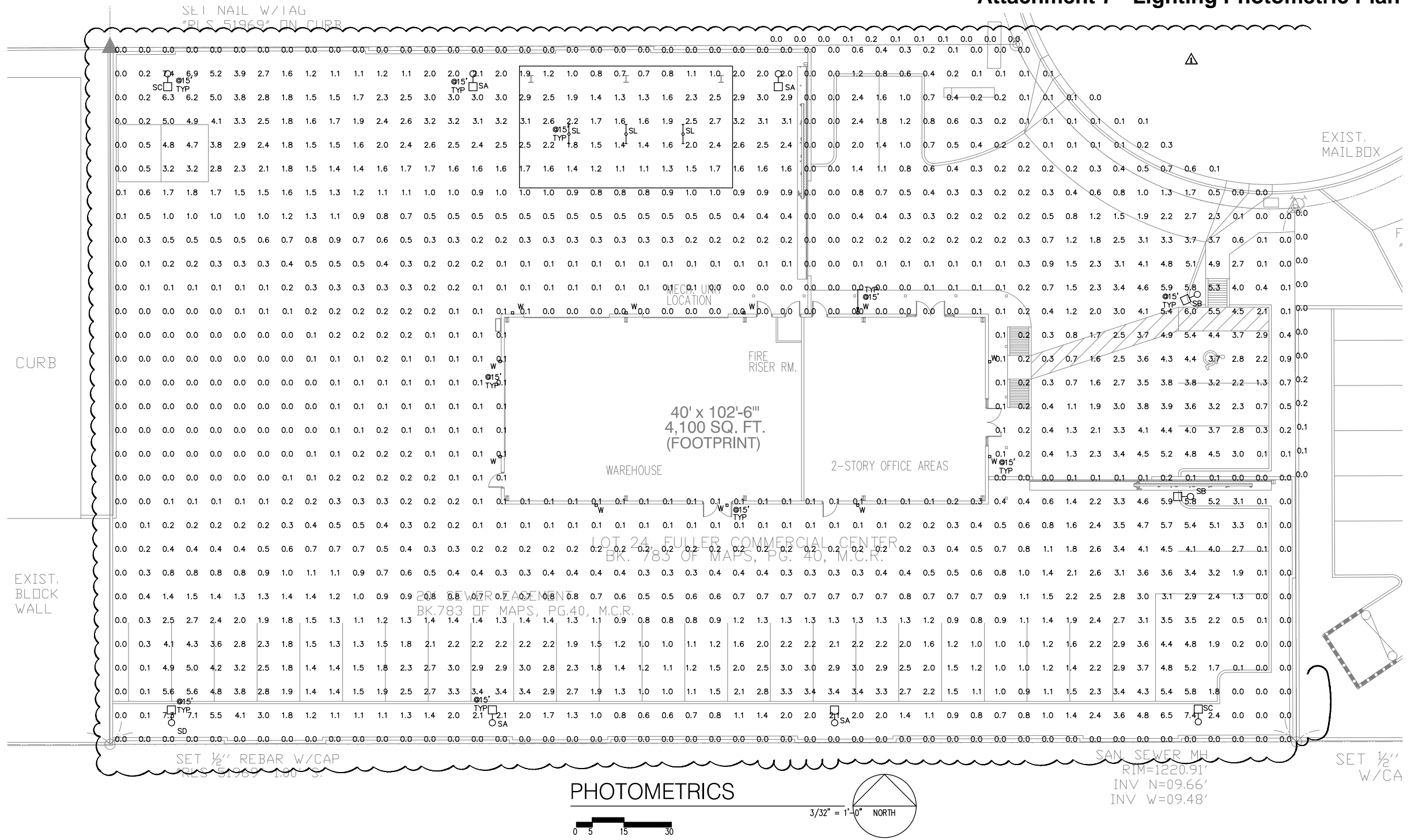
SHEET
A-2
OF

A NEW DEVELOPMENT
FOR
3XB, LLC

1312 N. MARVIN COURT, GILBERT, ARIZONA 85233

2ND DESIGN REVIEW SUBMITTAL

DR20-96: 3XB LLC
Attachment 7 - Lighting Photometric Plan



- GENERAL NOTES:**
- A. ALL EXTERIOR LIGHT FIXTURES TO COMPLY WITH LOCAL NIGHT SKY ORDINANCE.
 - B. ALL EXTERIOR ELECTRICAL EQUIPMENT TO BE NEMA-3R RATED.
 - C. ALL FIXTURES INSTALLED OUTDOORS SHALL BE RATED FOR DAMP/WET LOCATIONS AS REQUIRED. THE CONTRACTOR SHALL COORDINATE DAMP/WET LOCATION RATING PER NEC ARTICLE 410.10(A). ALL INSTALLATIONS SHALL CONFORM TO NEC ARTICLE 410.10, ALL SUB ARTICLES.
 - D. ALL EXTERIOR LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WITH THE LIGHTING IS LOCATED.
 - E. CONTRACTOR TO COORDINATE EXACT SITE LIGHTING FIXTURE LOCATIONS WITH LANDSCAPE DRAWINGS.



LUMINAIRE SCHEDULE							
CALLOUT	SYMBOL	LAMP	MODEL	DESCRIPTION	BALLAST	MOUNTING	VOLTS
SA		(1) 38W LED	Lithonia Lighting, DSX0 LED P1 40K BLC MVOLT	LED POLE LIGHT	STANDARD	POLE	120V 1P 2W
SB		(1) 54W LED,	Lithonia Lighting, DSX1 LED P1 40K T5S MVOLT HS	LED POLE LIGHT with houseside shield	STANDARD	POLE	120V 1P 2W
SC		(1) 54W LED,	Lithonia Lighting, DSX1 LED P1 40K RCCO MVOLT	LED POLE LIGHT	STANDARD	POLE	120V 1P 2W
SD		(1) 54W LED,	Lithonia Lighting, DSX1 LED P1 40K LCCO MVOLT	LED POLE LIGHT	STANDARD	POLE	120V 1P 2W
SL		(1) 27.58W LED,	LITETRONICS VT30US440P	LED Linear 48" 3,900 lumens MVOLT, 80 CRI	STANDARD	CEILING	120V 1P 2W
W		(1) 50W LED,	Lithonia Lighting, WST LED P2 40K VF MVOLT	WST LED, Performance package 3, 4000 K, visual comfort forward throw, MVOLT	STANDARD	WALL	MULTIPLE

MAVEN
ENGINEERING

Job #20WHG127
Tel: (480) 303-0180
Fax: (480) 302-7927
8011 S Avenida del Yaqui
Guadalupe, Arizona 85283

Note: Any changes made to final bid documents due to field changes will be billed hourly to the contractor.

A NEW DEVELOPMENT
FOR
3XB, L.L.C.
1312 N. MARVIN COURT GILBERT, ARIZONA 85233

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1356 East McKellips Road, Suite 101 • Mesa • Arizona • 85203
www.associated-architects.com



REVISION	DATE	DESCRIPTION
1	10/27/20	CITY COMMENTS
2		
3		
4		

DESIGNED BY: **MA**

CHECKED BY: **MA**

DATE: 10/27/20

PROJECT: 06/20/20

ELECTRICAL PHOTOMETRICS



SHEET

E-00

OF

LITETRONICS®

LED VAPOR TIGHT STRIP



The LED Vapor Tight Slim Strip is a uniquely slim and durable industrial fixture well-suited for harsh environments both indoor and outdoor.

At only 1.5" in diameter, this compact fixture works well in tight spaces. It can be surface mounted to a ceiling or wall, or suspension mounted depending on the application. It can also be directly connected to 1/2" NPT conduit. The 4" model can be daisy chained (up to 33 units) to cover more ground from a single power source.

Designed for specifically hazardous environments, this vapor tight fixture provides protection against moisture, vapors or dust. It's IP67 and IK10 ratings guarantee it's durability in challenging applications. The fixture is also NSF rated, for use in food processing and food safe environments. Even the stainless steel mounting hardware is corrosion resistant, providing long term peace of mind that your LED lighting is up to task.

KEY FEATURES

- IP67 and IK10 rated
- NSF rated
- Corrosion resistant (fixture and mounting hardware)
- DLC Premium (up to 130 LPW)
- Daisy chain up to 33 fixtures (4" model only)
- Direct connection to 1/2" NPT conduit
- 50,000-hour rated life
- 5 year warranty
- 5' cable attached

MARKETS

- Commercial
- Warehouse
- Retail
- Schools
- Health Care
- Gas Stations
- Factories

APPLICATIONS

- Corridor Lighting
- Halls
- Storage Areas
- Stairways
- Parking Lots
- Car Washes



Litetrronics, Inc. | 6969 W. 73rd St. Bedford Park, IL 60638 | Tel:1-800-860-3392 | customerservice@litetrronics.com

www.Litetrronics.com

4/10/20

Page 1/2

LED VAPOR TIGHT STRIP

SPECIFICATIONS

Average Rated Life: 50,000H
CRI: 80

Mounting: Stainless steel brackets

Power Factor: ≥0.91

Volts: 120-277

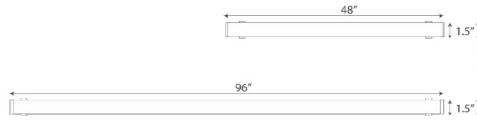
Beam Angle: 120°

IP Rating: 67

IK Rating: 10

Operating Temperature: -22°F to 122°F (-30°C to 50°C)

Dimming: Non-dimmable

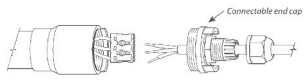


CONNECTABILITY

The 4" model can be daisy chained, enabling coverage of a larger area from one power source. Please note: The 8" model cannot be daisy chained.

Max number of 4" fixtures that can be connected:

WATTS	MAX QUANTITY IN DAISY CHAIN
30	33



Above: The stock end cap has been removed and replaced with the connectable end cap, facilitating the connection between two fixtures while maintaining the same protection from the elements. This end cap also enables a direct connection to 1/2" NPT conduit.

ORDERING INFORMATION

TYPE	WATTS	VOLTS	ORDERING CODE	DESCRIPTION	CCT (K)	LUMENS
4"	30	120-277	VT30US440P	30W 4" LED VAPOR TIGHT 120-277V 4000K PREM	4000	3,900
			VT30US450P	30W 4" LED VAPOR TIGHT 120-277V 5000K PREM	5000	
8"	55	120-277	VT55US40P	55W 8" LED VAPOR TIGHT 120-277V 4000K PREM	4000	
			VT55US80P	55W 8" LED VAPOR TIGHT 120-277V 5000K PREM	5000	7,150

ACCESSORIES



IMAGE	ORDERING CODE	DESCRIPTION	ACCESSORY USE
A	VTA001	4" VAPOR TIGHT SUSPENSION MOUNT KIT	Used to suspend 4" Vapor Tight light
B	VTA002	8" VAPOR TIGHT SUSPENSION MOUNT KIT	Used to suspend 8" Vapor Tight light

Page 2/2



WST LED Architectural Wall Sconce



Catalog Number	
Notes	
Type	W

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

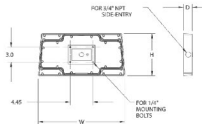
- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL+ controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background

To learn more about A+, visit www.acuitybrands.com/aplus. See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#).

Optional Back Box (PBBW)

Height: 8.49" (21.56 cm)
Width: 17.01" (43.21 cm)
Depth: 1.70" (4.30 cm)



Optional Back Box (BBW)

Height: 4" (10.2 cm)
Width: 5-1/2" (14.0 cm)
Depth: 1-1/2" (3.8 cm)



COMMERCIAL OUTDOOR

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WST4FD
Rev. 09/06/19



WST LED	Performance Package	Color temperature	Distribution	Voltage	Mounting
WST LED	P1 1,500 Lumen package	27K 2700K	WT Broad beam forward throw	120V 277V	Shipped included
	P2 3,000 Lumen package	30K 3000K	YW Broad beam wide	120V 240V 480V	Shipped separately
	P3 6,000 Lumen package	50K 5000K		80W Surface-mounted back box ¹	PBBW Perforated surface-mounted back box ²

Options	Finish (required)
NETAIRE2 PIR High/low, motion/ambient sensor for 8'-15' mounting heights ^{1,3}	DDBX Dark bronze
NETAIRE2 PIRH High/low, motion/ambient sensor for 15'-30' mounting heights ^{1,3}	DBX Black
FE Photometric: on, button type ⁴	DNAW Natural aluminum
PER NEMA two-lock receptacle only (controls ordered separately) ⁵	DSBW Sandstone
PER5 Five-pin receptacle only (controls ordered separately) ^{5,11}	DBDXT Textured dark bronze
PER7 Seven-pin receptacle only (controls ordered separately) ^{5,11}	DDBX Dark bronze
PIR Motion/Ambient Light Sensor, 8'-15' mounting height, ambient sensor enabled at 16" ^{1,2}	DDBX Dark bronze
PIRH Motion/Ambient Light Sensor, 15'-30' mounting height, ambient sensor enabled at 16" ^{1,2}	DNAW Textured natural aluminum
PIRHFCV High/low, motion/ambient sensor, 8'-15' mounting height, ambient sensor enabled at 16" ^{1,2}	DSBW Sandstone
PIRHFCVH High/low, motion/ambient sensor, 15'-30' mounting height, ambient sensor enabled at 16" ^{1,2}	DBDXT Textured dark bronze
SF Single face (DSB, 240, 480V) ¹	DDBX Dark bronze
DF Double face (DSB, 240, 480V) ¹	DBDXT Textured dark bronze
DS Dual switching ^{1,3}	DSBW Sandstone
DMS 0-10V dimming extend out back of housing for external control (control ordered separately) ^{1,3}	
EW Emergency battery backup, CA Title 20/Noncompliant local, 700V ^{1,12}	
EWBR Remote emergency battery backup, CA Title 20/Noncompliant local, 700V ^{1,12}	
EZW Emergency battery pack 16W constant power, Certified in CA Title 20/AIEESB ^{1,13}	
EZWK Emergency battery pack 20W constant power, Certified in CA Title 20/AIEESB ^{1,13}	
EZWHR Remote emergency battery backup, CA Title 20/Noncompliant (remote 20W) ^{1,12,14}	
LCZ Left side conduit entry ¹	
RCE Right side conduit entry ¹	
Shipped separately	
RPBW Remote back plate ¹	
WC Wand control ¹	
WC Wand control ¹	

Accessories

WST4FD001001 Premium Sensor - recessed back box

WST4FD001002 Sensor - recessed back box

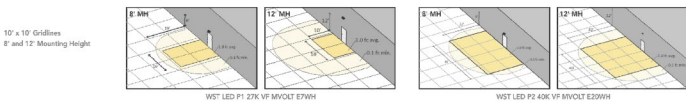
RPBW001001 Remote back plate

NOTES

1. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
2. Single fuse (SF) requires 120V, 277V or 347V Double fuse (DF) requires 200V, 240V or 480V.
3. Also available as a separate accessory; see accessories information.
4. Top conduit entry standard.
5. Not available with V10 or V15. See PBR Table.
6. Reference Motion Sensor table.
7. Need to specify 120, 208, 240 or 277 voltage.
8. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shipping Cap included.
9. Not available with Emergency options, PIR or PIR options.
10. DMS option not available with standalone or networked sensors.
11. Not available with 347/480V.
12. Battery pack rated for -20° to 40°C.
13. Comes with PBR01.
14. Warranty period is 3 years.
15. Not available with RBW.
16. Must order with fixture; not an accessory.

Emergency Battery Operation

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of NFPA 70/NEC 2008 - 700.16. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours from the time supply power is lost, per International Building Code Section 1005 and 1009.1.1.1). Life-Saving Code Section 1009.1.1.1 provided luminaires are mounted at an appropriate height and luminaire is open space with no major obstructions. The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF-distribution product in emergency mode.



COMMERCIAL OUTDOOR

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WST4FD
Rev. 09/06/19

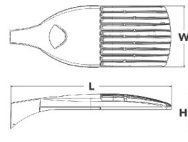


D-Series Size 1 LED Area Luminaire



Specifications

EPA: 1.01 ft² (0.09 m²)
Length: 33" (84.1 cm)
Width: 13" (33.0 cm)
Height H1: 7-1/2" (19.0 cm)
Height H2: 3-1/2" (9.1 cm)
Weight (max): 27 lbs (12.2 kg)



Ordering Information			EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD				
DSX1 LED							
Series	LEDs	Color temperature	Distribution	Voltage	Mounting		
DSX1 LED	Forward optics		T15	Type I short	MVOLT ¹	Shipped included	
	P1	P4	T25	Type I short			
	P2	P5	T35	Type II short			
	P3	P6	T35	Type II medium	208	SPA	Square pole mounting
	P7	P9	T35	Type II medium	240	WBA	Round pole mounting
	P10	P12	T35	Type II short	277	SPUBA	Square pole universal mounting adapter ¹
P11	P13	T35	Type II medium	347	RPUBA	Round pole universal mounting adapter ¹	
			forward throw medium beam	480		Shipped separately	
					MASS 00RD ¹	Mass arm mounting bracket, adapter (specify beam)	

Control options	Other options	Finish (required)
Shipped installed	Shipped installed SB	DDBX Dark bronze
NETAIRE2 High/low, motion/ambient sensor ¹	HS House-side shield ¹	DBX Black
PIRHN Network, high/low, motion/ambient sensor ¹	SF Single face (DSB, 240, 480V) ¹	DNAW Natural aluminum
PER NEMA two-lock receptacle only (controls ordered separately) ⁵	DF Double face (DSB, 240, 480V) ¹	DDBX Dark bronze
PER5 Five-pin receptacle only (controls ordered separately) ^{5,11}	L90 Left rotated optics ¹	DBDXT Textured dark bronze
PER7 Seven-pin receptacle only (controls ordered separately) ^{5,11}	R90 Right rotated optics ¹	DDBX Dark bronze
DMS 0-10V dimming extend out back of housing for external control (control ordered separately) ^{1,3}	Shipped separately	DDBX Dark bronze
DS Dual switching ^{1,3}	BS Spot optics ¹	DDBX Dark bronze
	E65 External glass shield	DDBX Dark bronze



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DSX1 LED
Rev. 02/05/20
Page 1 of 8

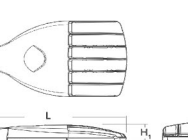


D-Series Size 0 LED Area Luminaire



Specifications

EPA: 0.95 ft² (0.08 m²)
Length: 26" (66.0 cm)
Width: 13" (33.0 cm)
Height: 3" (7.6 cm)
Height: 7" (17.8 cm)
Weight (max): 1.6 lbs (0.7 kg)



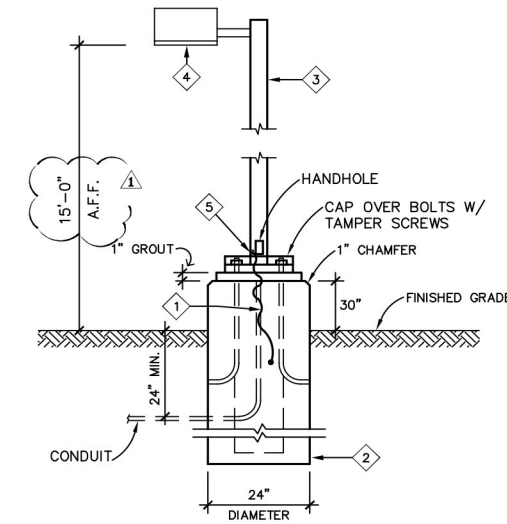
Ordering Information			EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD					
DSX0 LED		Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics			30K 3000K	T15 Type I short (Automotive)	T55 Type V short ¹	120V ^{1,2}	Shipped included
	P1 P4 P7			40K 4000K	T25 Type I short	T35 Type V medium ¹	208V	SPA Square pole mounting
	P2 P5			50K 5000K	T35 Type I medium	T55 Type V wide ¹	240V	WBA Round pole mounting
Retained optics	P6				T35 Type II short	REC Recirculate mode ¹	240V	WBA Round pole mounting
	P1 P4 P7				T35 Type I short	TCCO Low corner cutout ¹	277V	SPUBA Square pole universal mounting adapter ¹
	P2 P5				T35 Type I medium	TCCO Right corner cutout ¹	347V	RPUBA Round pole universal mounting adapter ¹
	P10 P12 P13				TFRM Forward throw medium		480V	Shipped separately
					TSVS Type V very short ¹			KMAN DDBXD D
								Alert: any mounting bracket adapter (optionally "built")

Control options	Other options	Finish (required)
Shipped installed	Shipped installed	DDBX Dark bronze
NETAIRE2 High/low, motion/ambient sensor ¹	HS House-side shield ¹	DBX Black
PIRHN Network, high/low, motion/ambient sensor ¹	SF Single face (DSB, 240, 480V) ¹	DNAW Natural aluminum
PER NEMA two-lock receptacle only (controls ordered separately) ⁵	DF Double face (DSB, 240, 480V) ¹	DDBX Dark bronze
PER5 Five-pin receptacle only (controls ordered separately) ^{5,11}	L90 Left rotated optics ¹	DBDXT Textured dark bronze
PER7 Seven-pin receptacle only (controls ordered separately) ^{5,11}	R90 Right rotated optics ¹	DDBX Dark bronze
DMS 0-10V dimming extend out back of housing for external control (control ordered separately) ^{1,3}	Shipped separately	DDBX Dark bronze
	BS Spot optics ¹	DDBX Dark bronze
	E65 External glass shield	DDBX Dark bronze



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DSX0 LED
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LIGHT POLE AND FIXTURE

N.T.S.

NOTE:

CONTRACTOR SHALL PROVIDE NEW POLE BASES WHERE INDICATED ON PLANS. LIGHTING FIXTURE POLE DETAILS AND DESCRIPTIONS ARE FOR ELECTRICAL REFERENCES ONLY. THE POLE AND BASE SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ARIZONA AND BE STAMPED AND SEALED ACCORDINGLY AS A DEFERRED SUBMITTAL.

KEYED NOTES : ⬠

1. #4 BARE CU. CONDUCTOR, 20'-0" LONG, COILED CONTINUOUS WITHIN THE LIGHT POLE BASE AND BONDED TO REBAR. NOTE: WIRE MAY BE COILED AT THE BASE OF HOLE.
2. CONCRETE BASE SEE STRUCTURAL DRAWINGS.
3. 4" SQUARE TO MATCH FIXTURE (100mph RATED)
4. SEE FIXTURE SCHEDULE FOR TYPE.
5. PROVIDE (2) LUG TERMINAL ATTACHED TO GROUND STUD.

MAVEN ENGINEERING Job #20WHG127
Tel: (480) 303-0180
Fax: (480) 302-7927
8011 S Avenida del Yaqui
Guadalupe, Arizona 85305
Note: Any changes made to final bid documents due to field changes will be billed hourly to the contractor.



SHEET

E-01

OF

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A NEW DEVELOPMENT FOR

3XB, L.L.C.

1312 N. MARVIN COURT GILBERT, ARIZONA 85233

2ND DESIGN REVIEW / W/ANNE SUBMITAL



PROJECT NARRATIVE

A New Storage Yard and Building for
3XB, LLC.

Location: 1312 N. Marvin Court
Gilbert, Arizona 85233

Parcels: 302-12-608

Existing Use: Vacant Land

Existing Zoning: LI

Description:

The project consists of a new 4,100 Sq. Ft. building. The building will be Constructed of a pre-manufactured steel building structure with metal wall panels and metal roof panels. It will have a 2-story office area and a warehouse area. There will be covered patio with columns over the office entrance areas.

The site development will consist of; new 8'-0" high perimeter cmu fencing around the site, two steel rolling gates, new concrete driveway, concrete paving/parking around the site, landscape areas, and a new concrete walkway to N. Marvin Court. There will be a detached covered parking structure on the north side of the building. The trash enclosure is being requested to be waived since the trash container will be screened from all views by perimeter walls and gates.

This project will also be submitted for a variance request under a separate submittal. The variance will be a request for a reduction of the side setback on the south property line.